

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: December 1, 2005

ITEM NO. \_\_\_\_\_

CASE NUMBER/ PROJECT NAME	<b>57-DR-1990#4 Scottsdale Stadium Right Field Ramada Addition</b>		
LOCATION	7408 E Osborn Road		
REQUEST	Request approval of site plan and elevations for the addition of a ramada structure in the right field seating concourse.		
OWNER	City of Scottsdale 480-312-7064	ENGINEER	
ARCHITECT/ DESIGNER	HOK Sport & Venue & Event 323 W 8th ST Suite 700 Kansas City, MI	APPLICANT/ COORDINATOR	Dan Symer City Scottsdale 480-312-4218
BACKGROUND	<b>Zoning.</b> In 1990, the City Council approved a municipal master plan that includes the stadium and multi-use facility.		

## **Context.**

The existing Scottsdale Stadium is located on the northeast corner of Osborn Rd. and Drinkwater Blvd. The stadium and the vacant land east of the stadium are located within the Civic Center Master Plan. The stadium is surrounded with a variety of land uses. To the north is the Civic Center Parking garage, the Scottsdale Justice Center, and surface parking lot; all are within the Civic Center Campus. Rental apartments zoned multi-family residential; border the east property line of the site. An alley separates the residential uses from the site. To the south, beyond Osborn Rd., are commercial zoned properties consisting of offices and retail. Across Drinkwater Blvd., to the west side of the site, is the Scottsdale South Healthcare Campus consisting of the hospital, doctor offices and a parking structure.

## **History.**

In 1955, the Maricopa County Board of Supervisors approved a site plan for a baseball park at the northeast corner of Osborn Rd. and Drinkwater Blvd. In 1960, the City of Scottsdale annexed the site. On August 7, 1990, the City Council approved a municipal use master plan for the entire Civic Center campus with case 22-UP-1990. The Development Review Board approved a site plan and elevations for a new stadium, case 57-DR-1990, on August 23, 1990. The Development Review Board approved an expansion to the stadium that included revised elevations, and site plan on March 24, 2005, case 57-DR-

1990#3.

APPLICANT'S  
PROPOSAL

**Applicant's Request.**

The request is for site plan and elevation approval of a right field ramada located in the bleacher section, above the new batting cage approved under 57-DR-1990#3.

**Development Information:**

- Existing Use: Scottsdale Stadium and vacant land
- Parcel Size: 19.7 Acres

DISCUSSION

The new ramada will be primarily used for the Charro's events during Major League Baseballs spring training season. Throughout the rest of the year, the ramada may be used for civic uses, and/or rented for private use.

The new ramada is located approximately 330 feet north of Osborn Road and 270 feet west of the multi-family residential uses adjacent to the practice field approved under case 54-DR-1990#3.

The existing stadium and modifications approved under case 54-DR-1990#3 was designed with a "turn of the century" southwest character. The existing materials consist of split-faced block accented with smooth face block insets in reddish and brownish colors. Other accents to the building include ribbed metal panels at the top of the building, stucco along the arcade canopy, metal arcades, trellises, and handrails.

The new ramada is approximately 2900 square feet. The ramada design and materials shall consist of a standing seam metal roof painted red, steel columns painted green and the columns will have CMU bases designed to be integrated with the existing stadium character. All material finishes and colors shall match the existing stadium design.

RELATED CASES

22-UP-90, 57-DR-90, 57-DR-90#2, and 57-DR-90#3

STAFF  
RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)

Kroy E Ekblaw  
Executive Assistant for Special Projects  
Phone: 480-312-7064  
E-mail: kekblaw@ScottsdaleAZ.gov

APPROVED BY

---

Dan Symer  
Planner  
Report Author

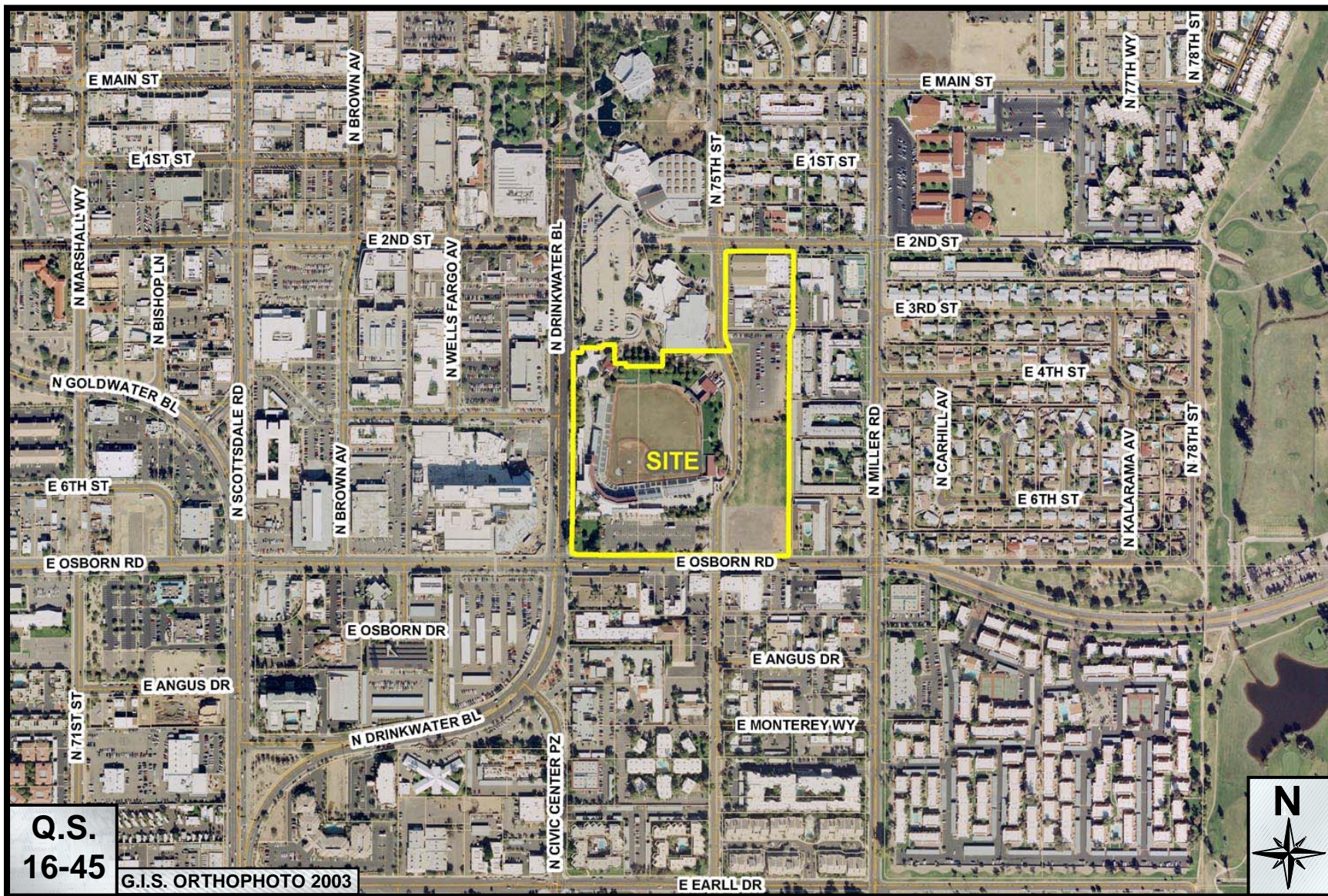
---

Lusia Galav, AICP  
Current Planning Director  
Phone: 480-312-2506  
E-mail: lgalav@scottsdaleaz.gov

ATTACHMENTS

1. Context Aerial
2. Close Up Aerial
3. Zoning Map
4. Overall Site Plan
5. Right Field Elevation (View From The Field)
6. Osborn Streetscape (South Elevation)
7. Alley Streetscape (East Elevation)
8. South and West Elevations
- A. Stipulations/Zoning Ordinance Requirements



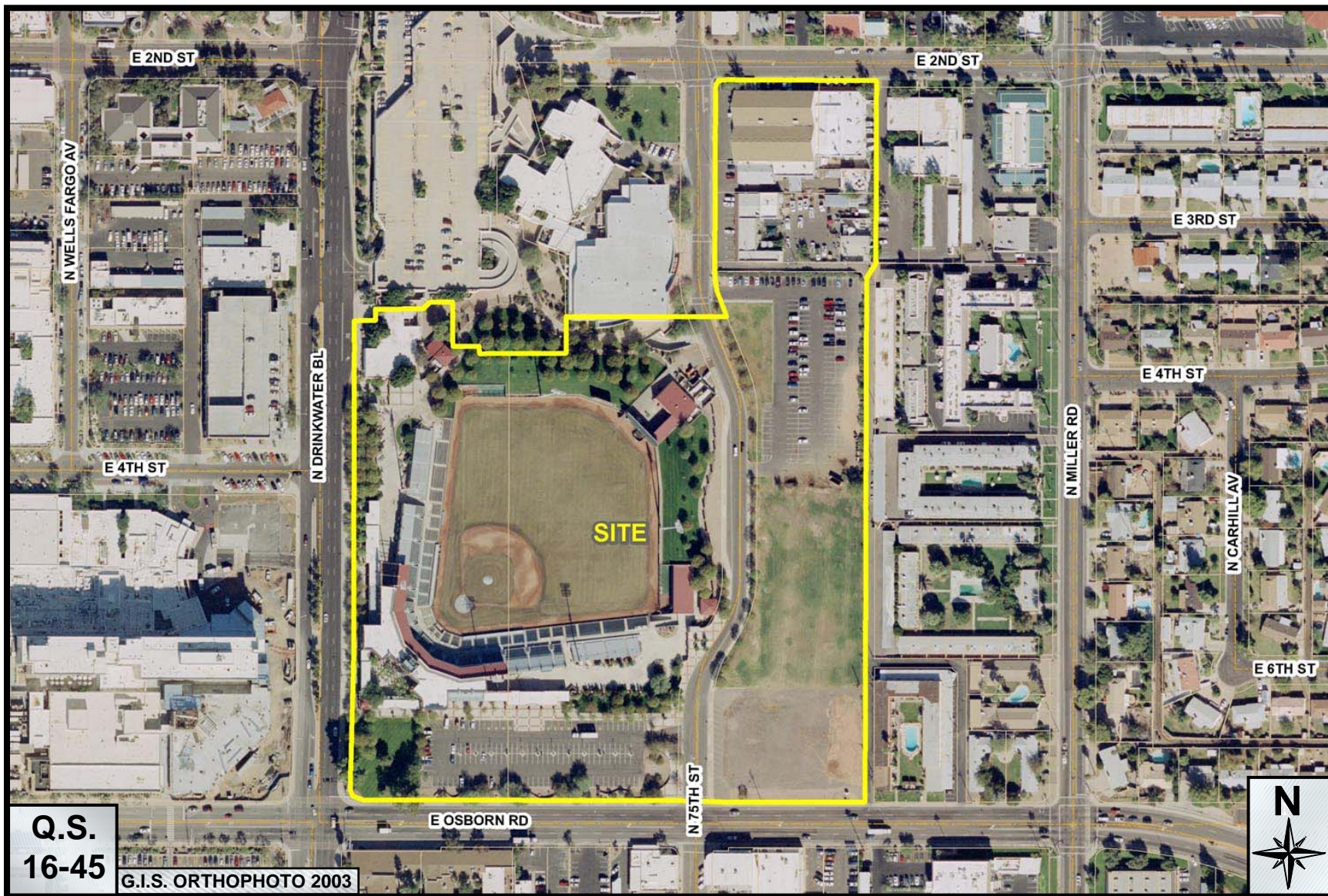


# Scottsdale Stadium Expansion

**57-DR-1990#4**

ATTACHMENT #1





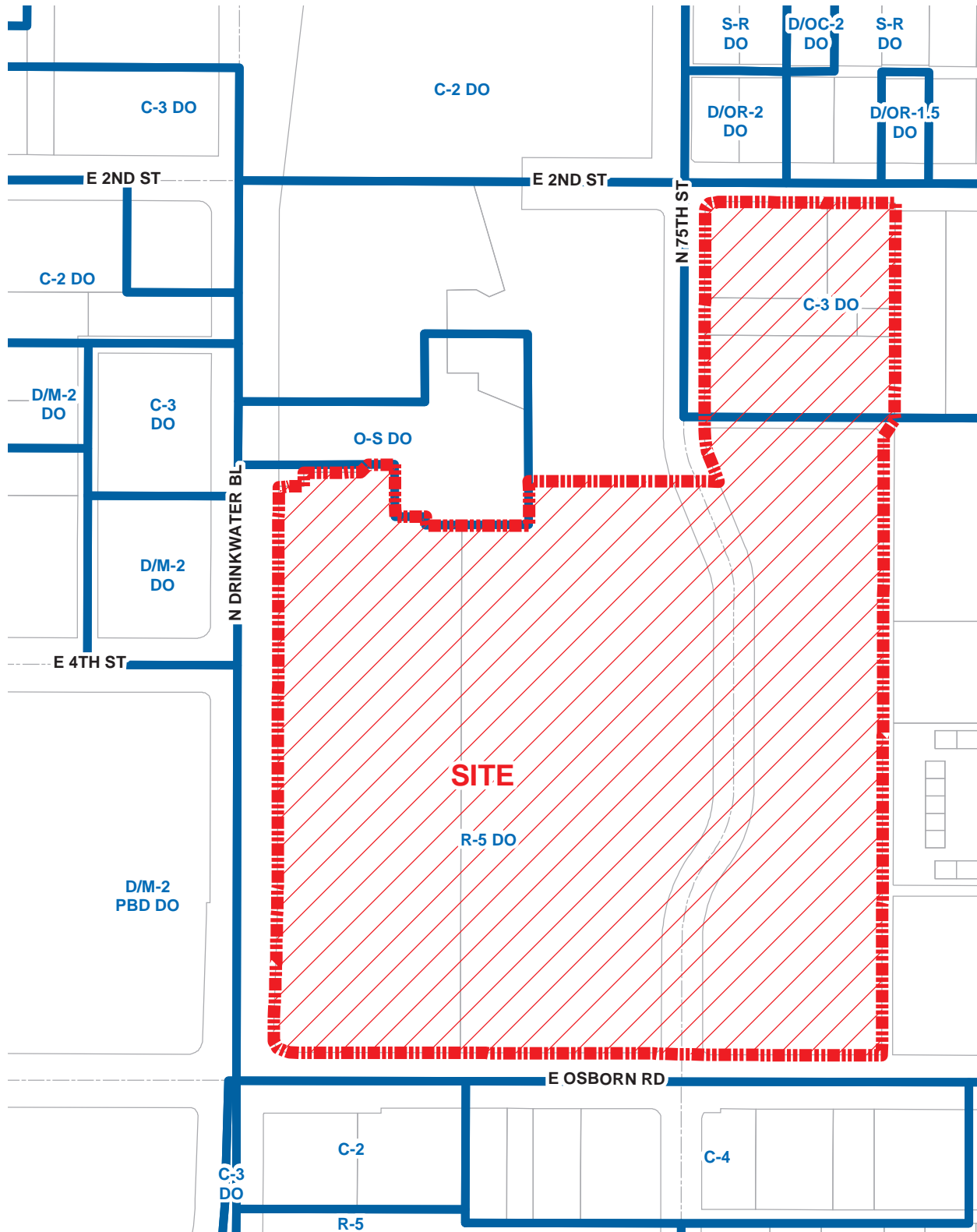
Q.S.  
16-45

G.I.S. ORTHOPHOTO 2003

Scottsdale Stadium Expansion

57-DR-1990#4

ATTACHMENT #2



57-DR-1990#3

ATTACHMENT #3



57-DR-1990#4  
11/23/05

ATTACHMENT #4



## LEGEND

- A. Renovate Existing Clubhouse
- B. Expanded Clubhouse
- C. Relocated Tickets
- D. Relocated Team Store
- E. Secured Player Parking
- F. Surface Public Parking
- G. Player/Spectator Restroom
- H. Full Size Practice Field
- I. Half Practice Field
- J. Gang Mounds (8)
- K. Batting Tunnels (4) With Deck Above
- L. Bullpen
- M. Practice Wall (Integral With Field Wall)
- N. Landscape Buffer
- O. Restroom Building With Tickets @ Entry Level
- P. Practice Field Protective Netting With Maximum Height Of 75'-100'
- Q. Maintenance Vehicle Access
- R. Relocated Scoreboard
- S. Site Fencing
- T. Existing Civic Center Campus Parking
- U. Future Additional Civic Center Campus Parking
- V. Storage Area
- W. 75th Street Terminus
- X. Berm Seating
- Y. Terraced Seating
- Z. Stair
- AA. Elevator
- BB. Ramp
- CC. Expanded Southwest Plaza
- DD. Right Field Ramada Structure/Charros

## SCOTTSDALE SPRING TRAINING STADIUM SITE

0 50 100 150

HOK

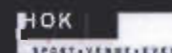
11-04-05



ATTACHMENT #5

57-DR-1990#4  
11/23/05

SCOTTSDALE SPRING TRAINING  
OUTFIELD ELEVATION



06-30-05





OSBORN ST. ELEVATION (WITHOUT BACKSTOP AND NETTING)

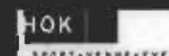


OSBORN ST. ELEVATION



OSBORN ST. ELEVATION (LANDSCAPED)

# SCOTTSDALE SPRING TRAINING OSBORN STREET ELEVATION



11-21-05

ATTACHMENT #6

11/23/05

57-DR-1990#4



EAST ELEVATION FROM ALLEY (PREVIOUS RENDERING)

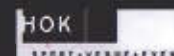


EAST ELEVATION FROM ALLEY



EAST ELEVATION FROM ALLEY (LANDSCAPED)

# SCOTTSDALE SPRING TRAINING PRACTICE FIELD ELEVATION FROM ALLEY

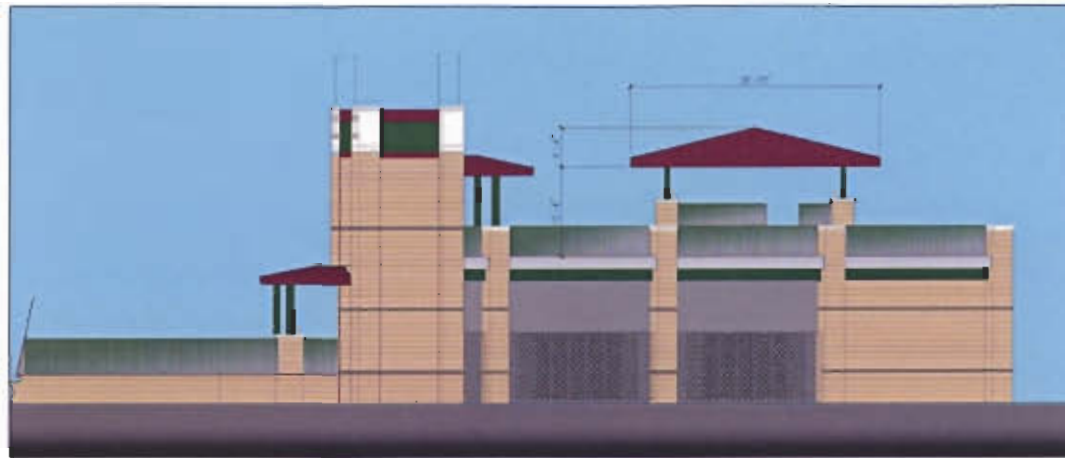


11-21-05

ATTACHMENT #7

57-DR-1990#4  
11/23/05





SOUTH ELEVATION



WEST ELEVATION

ATTACHMENT #8

57-DR-1990#4  
11/23/05

SCOTTSDALE SPRING TRAINING  
RIGHT FIELD RAMADA  
STRUCTURE/CHARROS



**Stipulations for Case:  
Scottsdale Stadium Expansion  
Case 57-DR-1990#4**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

**PLANNING**

**APPLICABLE DOCUMENTS AND PLANS:**

**DRB Stipulations**

1. Development Review Board approval shall be valid for 3 years from the time of approval.
2. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by HOK with a date provided on plan by City Staff of 11/23/05.
  - b. The location and configuration of all site improvements and landscaping shall be constructed to be consistent with the site plan submitted by HOK with a date provided on plan by City Staff of 11/23/05.
3. Stipulations from Development Review Board case 57-DR-1990#3 shall continue to apply.

**ARCHITECTURAL DESIGN:**

**DRB Stipulations**

4. The City of Scottsdale's Executive Assistant for Special Projects shall approve any building elevation modifications.
5. All new and proposed building modifications shall match the colors and materials of the existing stadium.

**FIRE**

1. No sprinklers required due to non-combustible construction.